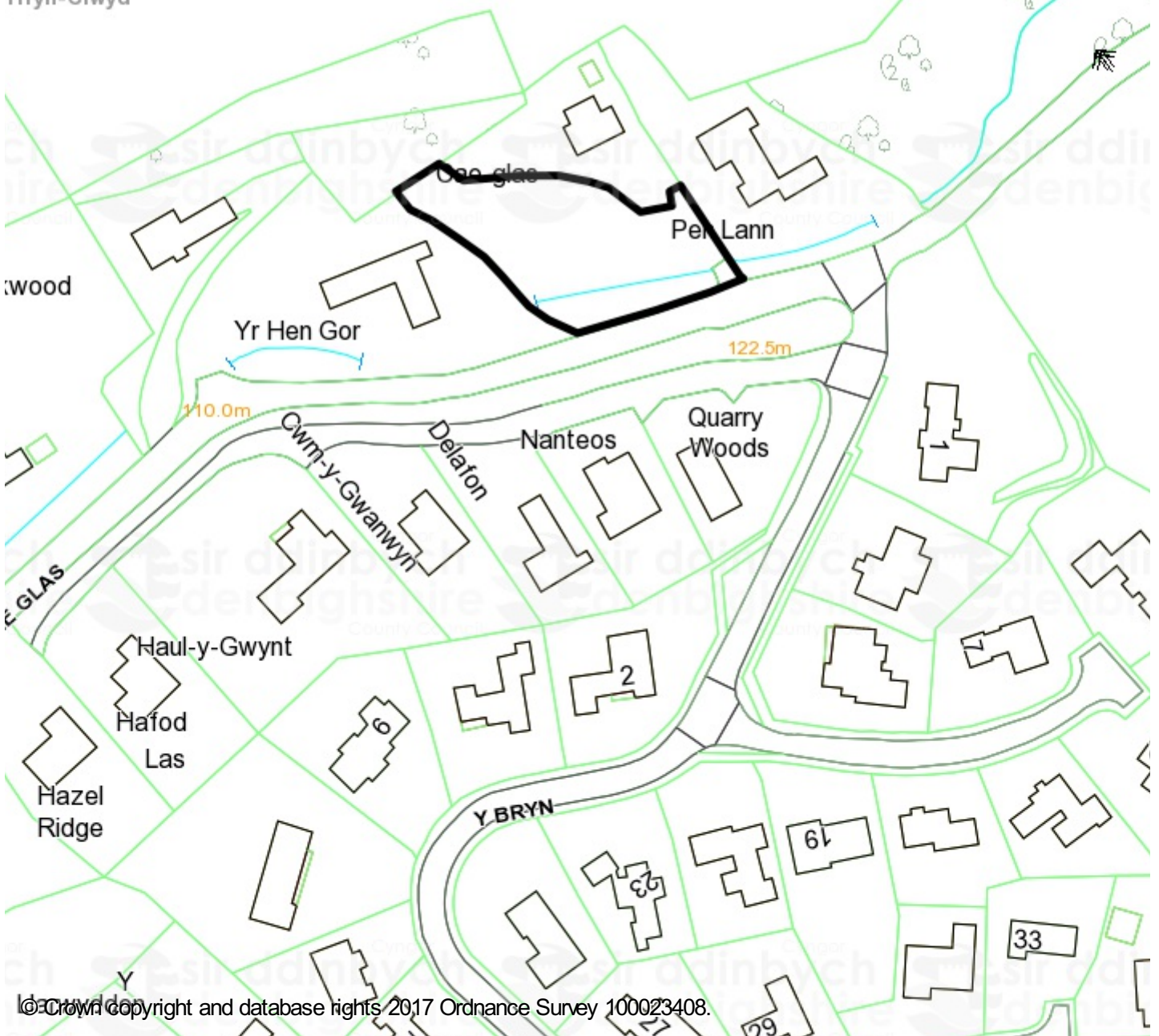


ffryn-Clwyd

wood



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16/2018/0659

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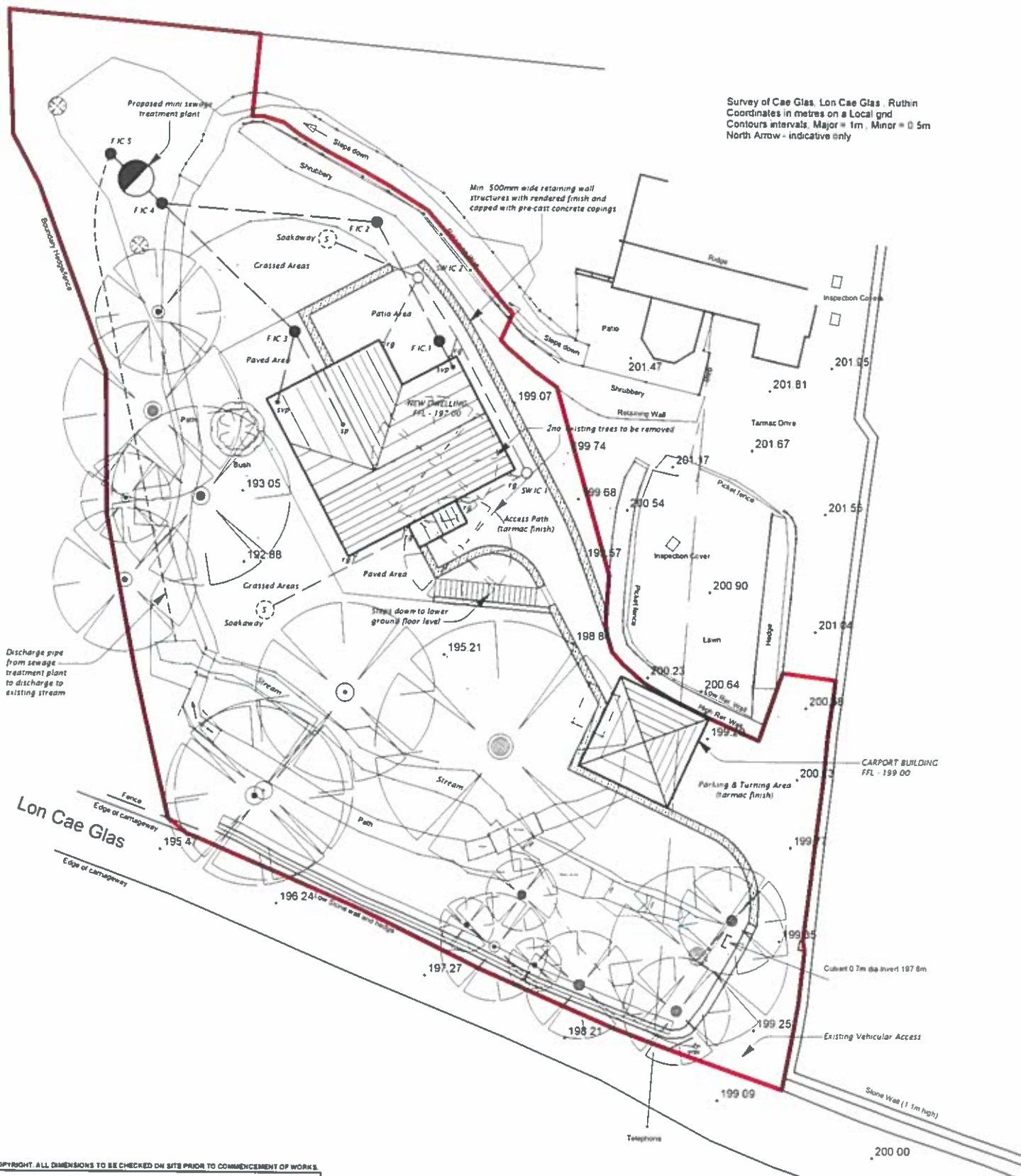
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PROPOSED SITE PLAN

Survey of Cae Glas, Lon Cae Glas, Ruthin
 Coordinates in metres on a Local grid
 Contours intervals: Major = 1m, Minor = 0.5m
 North Arrow - indicative only



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 architectural services

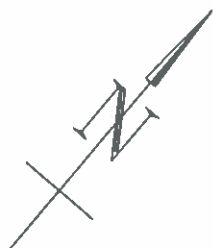
project title
 Plot at Cae Glas, Lon Cae Glas, Llanbedr D.C.

drawing title
 Proposed Site Plan.

project no.	drawing no.	revision
0762	4	
date	scale	drawn by
03/07/2018	1:200	S R

Birch House, Hen Lon Parcwr, Ruthin, Denbighshire, LL16 1NA
 ☎ 01824 705 222 ☎ 01824 707 171

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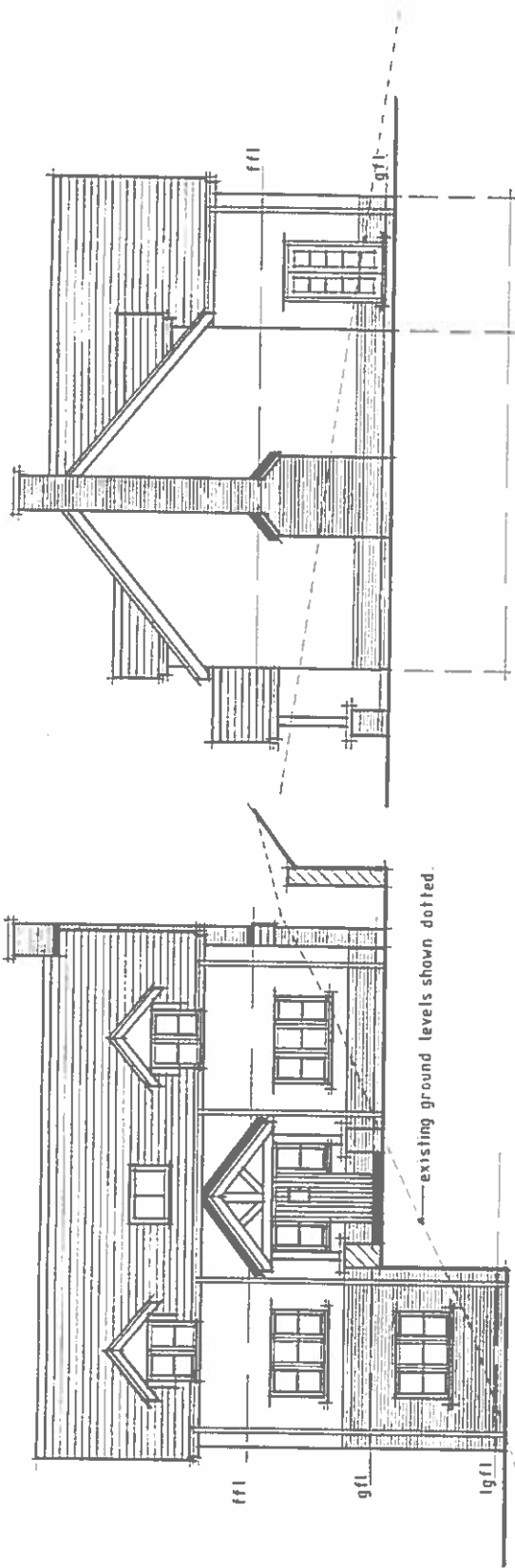


PROPOSED ELEVATIONS

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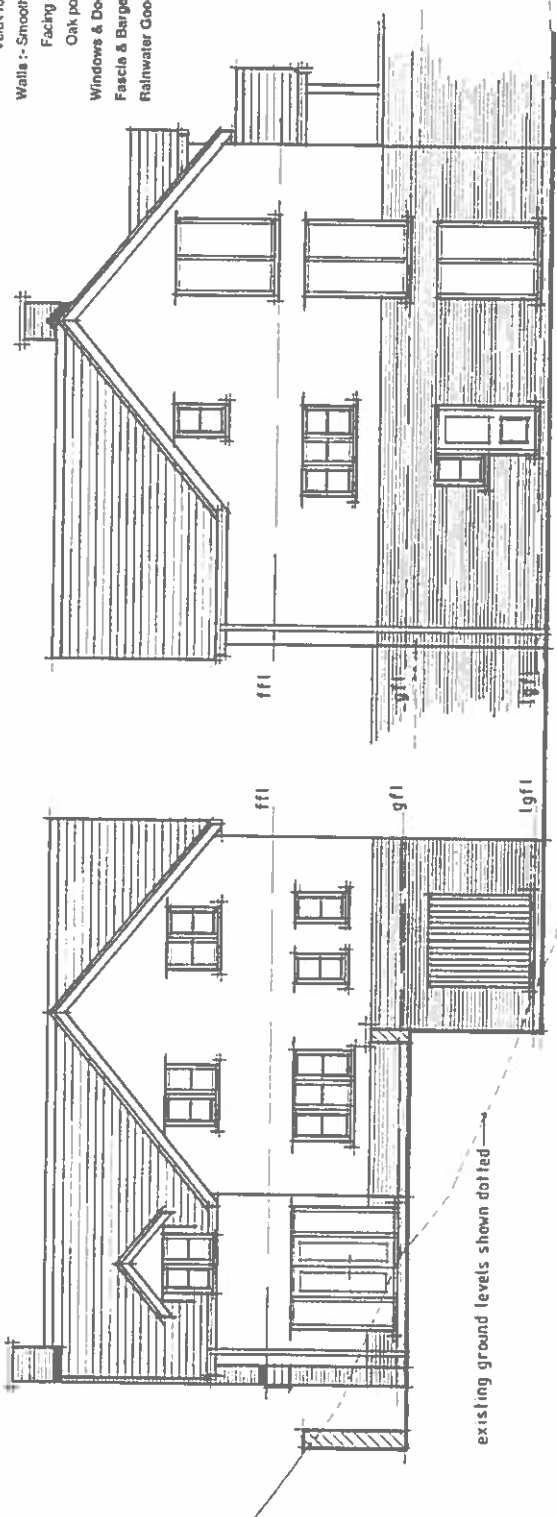
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drawing title Proposed Elevations.	revision
project no. 0762	drawing no. 3
date 20.06.18	scale 1:100
drawn by PM	
Birch House, Iffn Lon Parcwr, Ruthin, Denbighshire, LL15 1NA t: 01824 705 222 e: 01824 707 171 e: rnell@matischokross.co.uk w: www.matischokross.co.uk	



FRONT ELEVATION
1:100

SIDE ELEVATION
1:100

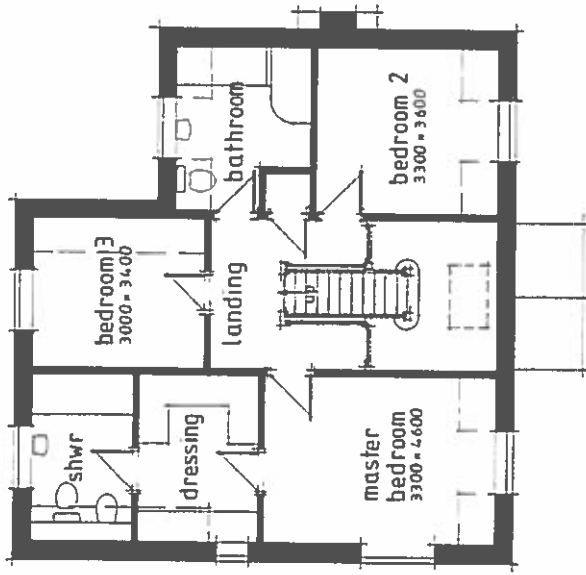
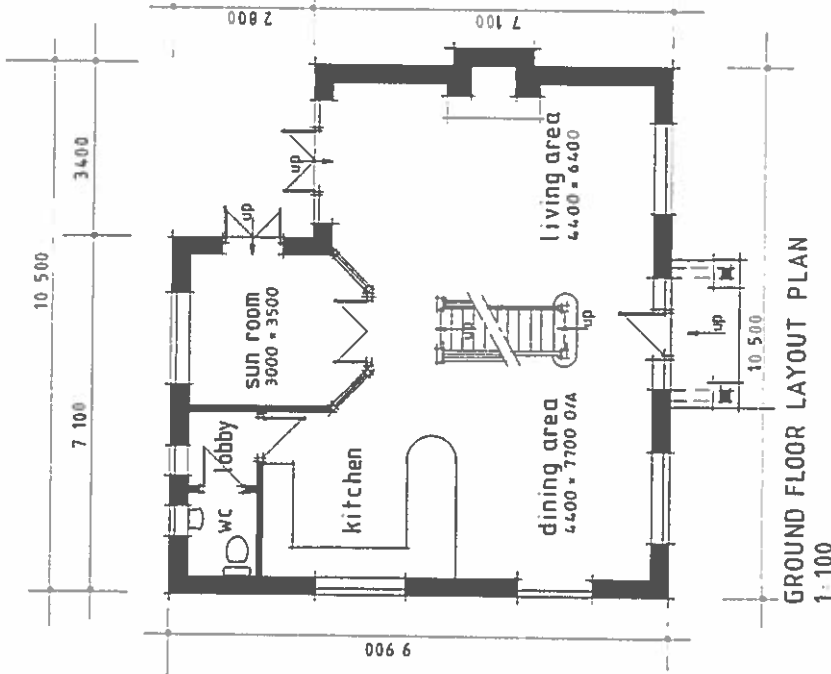
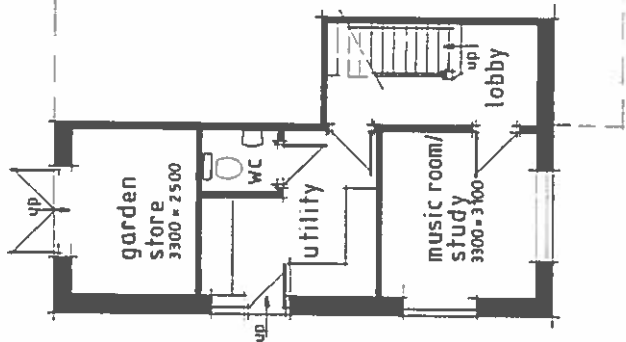
External Materials
 Roof : Marley Riverside Blue/Black Slates or similar approved.
 Velux roof windows installed using a flush recessed type flashing.
 Walls : Smooth self-coloured render finish - colour to client's approval.
 Facing brick plinth below render level and to lower ground floor areas.
 Oak posts/beams to covered entrance area and oak framing to front gable section detail.
 Windows & Doors : Coloured upvc/aluminium windows and external doors.
 Fascia & Barge Boards : Coloured upvc fascias, barge boards and soffit boards.
 Rainwater Goods : Coloured upvc gutters and down pipes.



REAR ELEVATION
1:100

SIDE ELEVATION
1:100

PROPOSED FLOOR PLANS

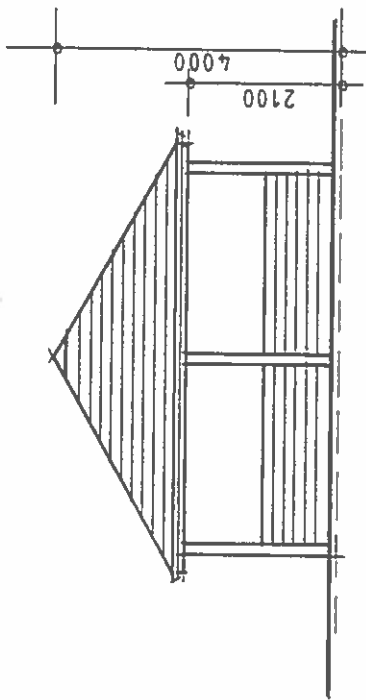


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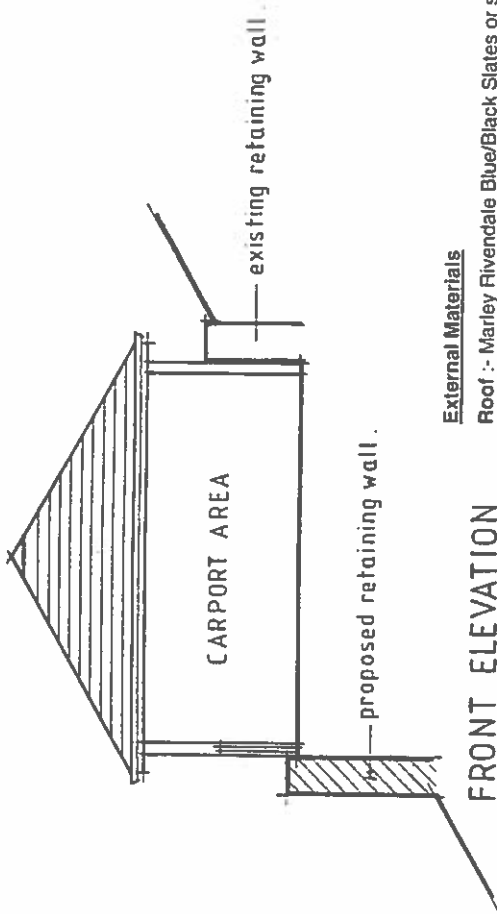
M J R **MATISCHOK & ROSS**
architectural services

project title	Plot at Cae Glas, Llanbedr D.C., Ruthin.		
drawing title	Proposed Floor Plan		
project no.	0762	drawing no.	2
date	20-06-18	revision	
		scale	1:100
		drawn by	PM
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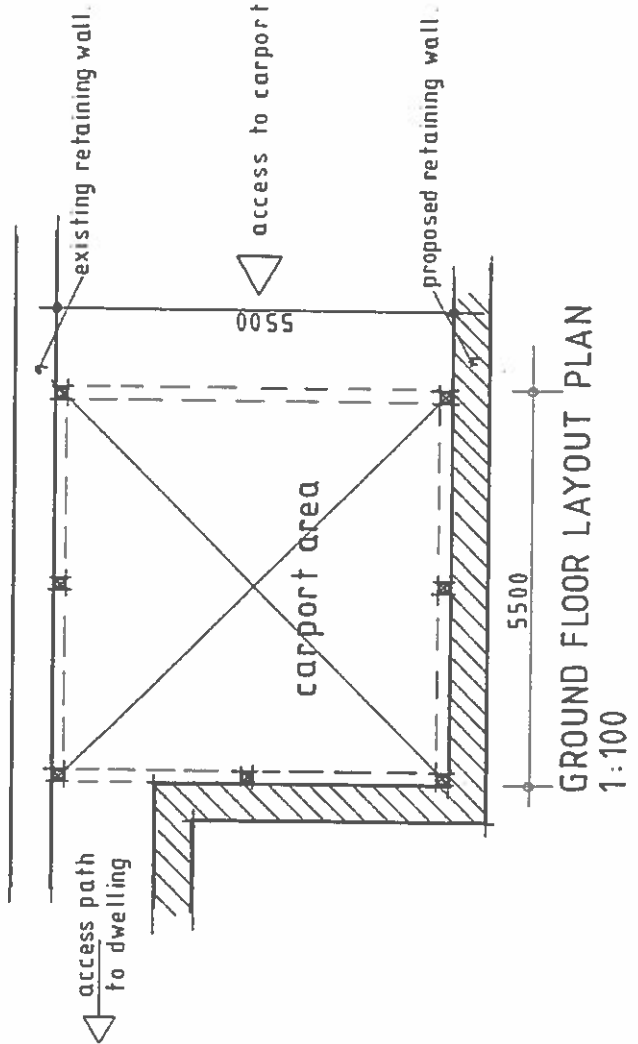
CAR PORT DETAILS



SIDE ELEVATION
1:100



FRONT ELEVATION
1:100



GROUND FLOOR LAYOUT PLAN
1:100

External Materials

Roof :- Marley Rivendale Blue/Black Slates or similar approved.

Walls :- Oak posts/beams to Carport area.

Fascia & Barge Boards :- Coloured upvc fascias, barge boards and soffit boards.

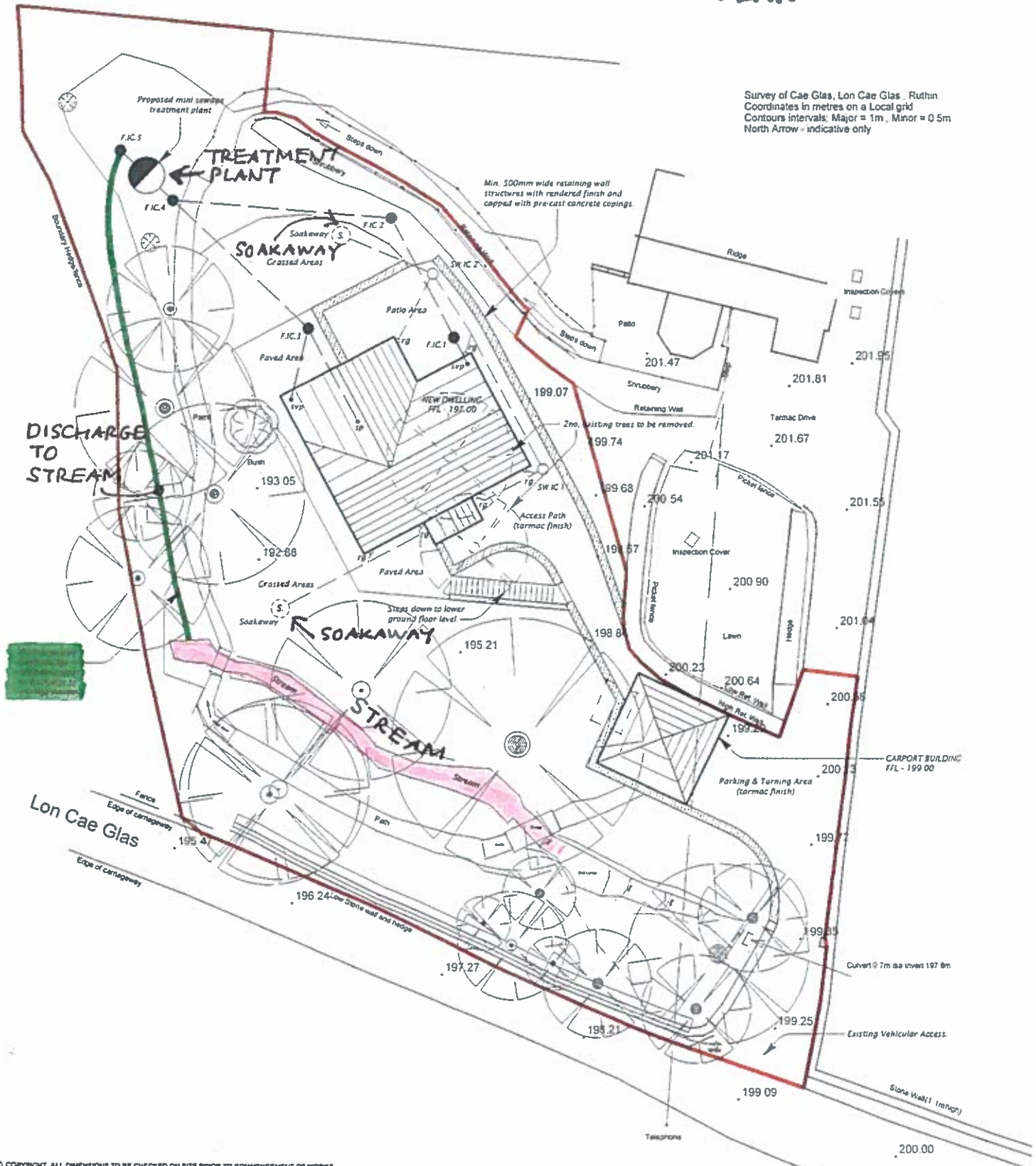
Rainwater Goods :- Coloured upvc gutters and down pipes.

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M & R		MATISCHOK & ROSS architectural services	
project title		Plot at Cae Glas, Lon Cae Glas, Llanbedr D.C.	
drawing title			
Carport Details.			
project no.	drawing no.	revision	drawn by
0762	6		PM
date	scale		
05/07/2018	1:100		
Birch House, Hen Lon Parcwr, Ruthin, Denbighshire, LL15 1NA			
☎ 01824 705 222 ☎ 01824 707 171			
✉ mail@matischokross.co.uk 🌐 www.matischokross.co.uk			

DRAINAGE PLAN

Survey of Cae Glas, Lon Cae Glas, Ruthin
 Coordinates in metres on a Local grid
 Contours intervals: Major = 1m, Minor = 0.5m
 North Arrow - indicative only



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MATISCHOK & ROSS
 architectural services

project title
 Plot at Cae Glas, Lon Cae Glas, Llanbedr D.C.

drawing title
 Proposed Site Plan

project no.	drawing no.	revision
0762	4	

date	scale	drawn by
03/07/2018	1:200	SR

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WARD : Llanbedr Dyffryn Clwyd / Llangynhafal

WARD MEMBER: Councillor Huw O. Williams

APPLICATION NO: 16/2018/0659/ PR

PROPOSAL: Details of appearance, landscaping, layout and scale of 1 dwelling submitted in accordance with condition number 1 of outline permission code 16/2017/1074 (reserved matters application); parking and turning scheme and details of foul and surface water drainage submitted in accordance with condition 7 and 11 of outline permission code 16/2017/1074

LOCATION: Land at (Part garden of) Cae Glas Lon Cae Glas Llanbedr Dyffryn Clwyd Ruthin

APPLICANT: Mr & Mrs Vivien & Irene Sutherland

CONSTRAINTS: AONB

PUBLICITY UNDERTAKEN: Site Notice - No
Press Notice - No
Neighbour letters - Yes

CONSULTATION RESPONSES:

LLANBEDR D. C COMMUNITY COUNCIL –

“Llanbedr Dyffryn Clwyd Community Council has the following observations to the above planning application and plans:-

1. Concerns regarding the waste discharge which may be contaminated.
2. Highway safety issues regarding the vehicle access which should be addressed.”

CLWYDIAN RANGE AND DEE VALLEY AREA OF OUTSTANDING NATURAL BEAUTY
JOINT ADVISORY COMMITTEE

Comments on original submission:

“The Joint Committee has no objection to the overall design and landscaping but would recommend that the retaining walls and proposed brick faced plinth and lower ground floor walls should be faced in traditionally finished natural local stone to match the existing frontage walls. In addition, the roof should be covered in natural blue/grey slate and not fibre cement tiles as specified.”

Re-consultation comments:

“The Joint Committee notes the additional information relating to parking, turning and drainage arrangements and has no further comments to add to those made earlier on the appearance, layout and landscaping details.”

NATURAL RESOURCES WALES

Comments on original submission:

No objection to the discharge of Condition 1.

Re-consultation comments:

NRW did not request the imposition of the associated Conditions, and as such will not be providing comments on the application.

DWR CYMRU / WELSH WATER

Note that foul flows are to be disposed of via a private treatment plant, hence defer to Natural Resources Wales and or the Local Authority Building control Department / Approved Building Inspector .

DENBIGHSHIRE COUNTY COUNCIL CONSULTEES –

Highways Officer

Comments on original submission:

The Applicant has now complied with condition number 1 of outline permission code 16/2017/1074 (reserved matters application)

Re-consultation comments:

In response to concerns raised in public representations:

There was a condition imposed on the original application for parking and turning within the site. Whilst this has not been submitted for approval, there has been an indicative layout submitted for the discharge of condition No 1 and we would consider that this would be adequate for the proposed new dwelling.

In terms of the concerns in relation to construction traffic it is not normal practice for highways to include a condition for the construction management plan, given the small scale development for 1 dwelling. It is up to the contractor to manage site safety which would include using appropriate sized vehicles given the nature of the site and surrounding highway network, which is not a unique situation in developing sites in rural locations as a County such as ours.

On receipt of revised plans, Highways Officers have confirmed they are satisfied Condition No 7 has been met.

RESPONSE TO PUBLICITY:

In objection

Representations received from:

Mr and Mrs Herbertson, Quarry Woods, Lon Cae Glas Llanbedr

Mr Paul Wright, 15 Grosvenor Street, Chester

Kailey Jones, Oakwood, Lon Cae Glas, Llanbedr

Summary of planning based representations in objection:

Drainage:

Concern that as site is on sloping ground, the package treatment plant would be at a higher ground level than the house to the west / section plans are required to demonstrate the proposed drainage system is workable/ concern regarding the validity of the percolation tests bearing in mind that they have been carried out during one of the driest periods for many years / the water table is extremely high with water seeping through the bank / concern in periods of high rainfall ground seepage would mean neighbouring properties would become contaminated with waste water.

Parking and turning arrangements:

Object to the parking and turning area / condition 7 relates to all vehicles and not just cars / Application does not make provision for the parking and turning of large construction vehicles or delivery vehicles (e.g. tankers for the delivery of oil and large vehicles for the removal of waste) / condition 7 has been complied with / Proposal would be harmful to highway safety / Turning circle now proposed appears to be smaller than the turning area shown on the outline plans /Boundary fence between existing dwelling and neighbour to east has already been damaged by inappropriately sized vehicles trying to gain access to the existing dwelling / Lon Cae Glas is a single track lane which is described by the Local Authority as 'Not Suitable for Motor Vehicles' / Council's duty to ensure decision does not contravene public safety and does not result in damage to private property /Highway Officers have not evidenced why they consider condition 7 has been met.

EXPIRY DATE OF APPLICATION: 06/09/2018

EXTENSION OF TIME AGREED? 14/11/2018

REASONS FOR DELAY IN DECISION (where applicable):

- re-consultations / further publicity necessary on amended plans and / or additional information
- Awaiting consideration at committee.

PLANNING ASSESSMENT:

1. THE PROPOSAL:

1.1 Summary of proposals

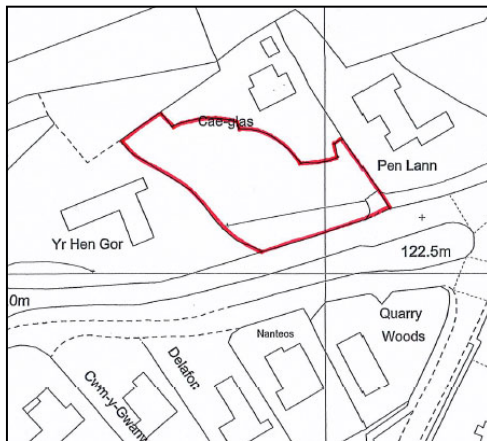
- 1.1.1 This is an application seeking approval of the details of appearance, landscaping, layout and scale of a proposed dwelling, submitted in accordance with Condition 1 of outline planning permission ref 16/2017/1074, and details of the foul drainage and parking and turning arrangements as required by conditions 7 and 11 of the permission.
- 1.1.2 Outline planning permission was granted in March 2018 for the development of a dwelling and the installation of a new septic tank on the site. The application was made in outline and sought approval of the access, with matters of appearance, landscaping, layout and scale reserved for further approval. Conditions were attached requiring approval of matters such as drainage and parking and turning arrangements.
- 1.1.3 The current application was originally submitted for approval of the 'reserved matters' of appearance, landscaping, layout and scale of the dwelling. Following receipt of representations, details of the parking and turning area and foul water and surface water drainage arrangements have been submitted, in accordance with conditions 7 and 11 attached to the outline planning permission.
- 1.1.4 The proposed dwelling is a split level 2/3 storey pitched roof detached house with a chimney stack to the side, and covered porch to the front. Internal accommodation comprises of music room / study, utility and garden store at lower ground floor level; kitchen, dining and living area with sunroom and W/C at ground floor; and three bedrooms (one en-suite with separate dressing room) and bathroom at first floor level.
- 1.1.5 Walls are proposed to be finished in a smooth self-coloured render with a facing brick plinth below render level and at lower ground floor level. The roof would be clad in Marley Riverdale black / blue slates or similar.
- 1.1.6 A detached double car port is proposed between the dwelling and the driveway leading to the site entrance, with a parking and turning area.
- 1.1.7 The submission confirms existing fences and hedgerows to the site boundaries are to be retained and a new timber post & wire netting fence is to be erected as a new plot boundary. New retaining walls are to be faced with blockwork with a rendered finish to match the main dwelling.
- 1.1.8 A Tree survey plan was submitted with the outline application and conditions were imposed with respect to tree works at outline stage. The landscaping details confirm retained trees will be protected during construction by erection of 1m high timber chestnut paling fence erected 1m outside the outermost limits of the branch spread.
- 1.1.9 The access and driveway would be surfaced with tarmac
- 1.1.10 Surface water is proposed to discharge to soakways and percolation test results have been provided to demonstrate ground conditions are suitable for soakaways.

1.1.11 A package sewerage treatment plant is proposed for foul drainage, and would be sited to the rear of the dwelling. This would discharge to a watercourse (stream) which crosses through the site.

1.1.12 The layout and details of the dwelling, access / turning, and drainage arrangements can be appreciated from the plans at the front of the report.

1.2 Description of site and surroundings

1.2.1 The site is located to the north of Lon Cae Glas with the existing Cae Glas dwelling to the north east with further houses to the west and east. Houses are also located across the road to the south as shown on the location plan extract and aerial view shown below:



1.2.2 The site is on sloping ground, with the land dropping from east to west.

1.2.3 The site was previously a garden area associated with the Cae Glas dwelling, being a mix of grassed area and a variety of trees of differing age and species; some of which are to be removed to facilitate the development.

1.2.4 A small stream runs through the site.

1.3 Relevant planning constraints/considerations

1.3.1 The site is within the development boundary as shown in the Local Development Plan, and is within the AONB.

1.4 Relevant planning history

1.4.1 Outline planning permission was granted in March 2018 for the development of 0.13ha of land by the erection of a dwelling and installation of a new septic tank (outline application including access). The conditions relevant to this application are:
Condition 1

Approval of the details of the appearance of the building, landscaping, scale and layout (hereinafter called "the reserved matters") shall be obtained from the Local Planning Authority in writing before the commencement of any development.

Reason: To comply with the provisions of Section 91 of the Town and Country Planning Act 1990.

Condition 7

Facilities shall be provided and retained with the site for the parking and turning of vehicles for Cae Glas and the new dwelling with a scheme to be agreed with the Local Planning Authority and which shall be completed before the development is brought into use.

Reason: In the interests of highway safety

Condition 11

No development shall take place until a fully detailed scheme of foul drainage and surface water drainage has been submitted to and approved in writing by the Local Planning Authority and the approved scheme shall be completed before the occupation of the dwelling and thereafter retained and maintained.

Reason: In the interest of the management of flood risk and drainage.

1.5 Developments/changes since the original submission

- 1.5.1 Following representations from neighbours, the applicant was invited to submit additional information with the application to secure discharge of conditions 7 and 11 attached to the outline consent alongside the reserved matters application.
- 1.5.2 On receipt of additional information, the description of the development was changed in agreement with the agent and reconsultation was carried out on the application.
- 1.5.3 The agent has submitted additional information with respect to the proposed parking and turning area and drainage arrangements during the course of the application in response to concerns raised by consultees. This is summarised below:

Foul Drainage Disposal.

The foul drainage will discharge to a mini sewage treatment plant to the location shown on site.

The cover level of the tank will be set at approximately 193.50.

The outlet from the sewage treatment plant will discharge via a gravity piped system to the watercourse passing through the development site.

The outlet into the stream will be at a level of approximately 191.50 – so a gravity piped system from the outlet on the tank to the outlet to the stream will be achievable on this site.

The water from the sewage treatment plant will be clean treated water and acceptable for discharge into the existing water course.

There is no risk of contamination from the sewage treatment plant to any neighbouring properties.

Access, Parking & Turning on Site

The Highway Authority have confirmed that the proposed details for access, parking and turning of vehicles on site, in association with the development proposals for one new dwelling, is acceptable and that they have no objections to the scheme proposals.

The proposed heating system for the new dwelling will be an air source heat pump system and not an oil fired boiler and, as such, there will be no requirement for access by an oil delivery tanker.

The tanker for emptying the sewage treatment plant would reverse the short distance up the drive, park up on the parking area and use a pumped pipe system to empty the tank – this would be required very occasionally for this 3 bed roomed property – maybe once every 18 months to 2 years?

Any other delivery lorries would probably reverse up the drive from the road (wouldn't need to turn around on site) and this is only a short distance of 15m to 20m maximum.

This is what happens for the majority of the neighbouring properties - very few neighbouring properties along Lon Cae Glas have turning facilities on site for larger delivery lorries.

1.6 Other relevant background information

- 1.6.1 Representations received include concerns regarding damage caused to a boundary fence as a result of large vehicles accessing the existing dwelling at Cae Glas. Respectfully, this is a civil matter and is not a material planning consideration.

2. DETAILS OF PLANNING HISTORY:

2.1 16/2017/1074. Development of 0.13ha of land by the erection of a dwelling and installation of a new septic tank (outline application including access). Granted 28/03/2018. The relevant planning conditions attached to the outline permission are referred to in section 1.4.1 of the report.

3. RELEVANT POLICIES AND GUIDANCE:

The main planning policies and guidance are considered to be:

Denbighshire Local Development Plan (adopted 4th June 2013)

Policy RD1 – Sustainable development and good standard design

Policy BSC1 – Growth Strategy for Denbighshire

Policy VOE5 – Conservation of natural resources

Policy VOE6 – Water management

Policy ASA3 – Parking standards

Supplementary Planning Guidance

Supplementary Planning Guidance Note: Clwydian Range and Dee Valley Area of Outstanding Natural Beauty

Supplementary Planning Guidance Note: Parking Requirements In New Developments

Supplementary Planning Guidance Note: Residential Development

Supplementary Planning Guidance Note: Residential Development Design Guide

Supplementary Planning Guidance Note: Residential Space Standards

Supplementary Planning Guidance Note: Trees & Landscaping

Government Policy / Guidance

Planning Policy Wales (Edition 9) November 2016

Development Control Manual November 2016

Technical Advice Note 12: Design

Technical Advice Note 18: Transport

4. MAIN PLANNING CONSIDERATIONS:

In terms of general guidance on matters relevant to the consideration of a planning application, Planning Policy Wales Edition 9, 2016 (PPW) confirms the requirement that planning applications 'should be determined in accordance with the approved or adopted development plan for the area, unless material considerations indicate otherwise' (PPW section 3.1.3). PPW advises that material considerations must be relevant to the regulation of the development and use of land in the public interest, and fairly and reasonably relate to the development concerned (PPW section 3.1.4).

Development Management Manual 2016 states that material considerations can include the number, size, layout, design and appearance of buildings, the means of access, landscaping, service availability and the impact on the neighbourhood and on the environment (DMM section 9.4).

The following paragraphs in Section 4 of the report therefore refer to the policies of the Denbighshire Local Development Plan, and to the material planning considerations which are considered to be of relevance to the proposal.

4.1 The main land use planning issues in relation to the application are considered to be:

4.1.1 Principle

4.1.2 Appearance

4.1.3 Landscaping

4.1.4 Layout

4.1.5 Scale

4.1.6 Parking and turning area details (approval of condition 7)

4.1.7 Drainage details (approval of condition 11)

4.2 In relation to the main planning considerations:

4.2.1 Principle

The main Local Development Plan Policy relevant to the principle of the development is Policy BSC 1. This policy seeks to make provision for new housing in a range of

locations, concentrating development within development boundaries of cities, towns and villages, and it states developers will be expected to provide a range of house sizes, types and tenure.

The site is located within the development boundary of Llanbedr Dyffryn Clwyd and has the benefit of outline planning permission. The principle of residential development has therefore been established, and is not for deliberation at this stage.

The outline permission is for the erection of a dwelling and the installation of a new septic tank, with details of access.

The principle of the installation of a septic tank in the location shown on the approved site location plan has also been established through the grant of planning permission, and the site access detailing has also been approved through the grant of outline permission, and is likewise not for deliberation at this stage.

The application is for the approval of reserved matters is seeking approval of appearance, landscaping, layout and scale, which are considered in detail below, along with the details of the parking and turning area and foul and surface water drainage to satisfy conditions 7 and 11 attached to the outline planning permission.

Officers would note that the grant of outline planning permission established the principle of a septic tank as a suitable mode of foul water drainage and it was also accepted that the site was capable of providing a satisfactory parking and turning area

Matters relating to the approval of conditions 7 and 11 are set out in sections 4.2.6 and 4.2.7 below.

4.2.2 Appearance

“Appearance” means the aspects of a building or place within the development which determine the visual impression the building or place makes, including the external built form of the development, its architecture, materials, decoration, lighting, colour and texture.

Local Development Plan Policy RD 1 test (i) requires due regard to issues of siting, layout, form, character, design, materials, aspect, microclimate and intensity of use of land / buildings and spaces between buildings, which are matters relevant to the visual impact of development; test (vi) requires that development does not unacceptably affect prominent public views into, out of, or across any settlement or area of open countryside; test (vi) requires the incorporation of existing landscape or other features, takes account of site contours, and changes in levels and prominent skylines; and test (xiii) requires the incorporation of suitable landscaping measures to protect and enhance development in its local context.

The Community Council and private individuals have not commented with respect to the appearance of the proposed dwelling. The AONB Advisory Committee has no objection to the overall design and landscaping but recommend that the retaining walls and proposed brick faced plinth and lower ground floor walls should be faced in traditionally finished natural local stone to match the existing frontage walls, and the roof should be covered in natural blue/grey slate and not fibre cement tiles as specified.

The site is located within the Llanbedr DC development boundary where there is a mix of housing styles and design.

Boundary treatments to existing properties along Lon Cae Glas are also a mix of hedgerows, wooden fencing, brick, rendered and stone walls. The boundary with the highway is formed by a low stone wall and hedge, and the proposed site plan shows the existing boundary treatment would be retained.

The proposed dwelling is on undulating ground and a number of trees within the site are proposed to be retained. The dwelling would be set back within the site and would be largely obscured from public views. Neighbouring properties have rendered walls with cement tiles rather than slate to the roof. Further along Lon Cae Glas is a relatively modern housing estate which is made up of dwellings with a mix of brick and render facing walls.

Having regard to the design of the dwelling proposed in relation to surrounding dwellings in the locality, Officers do not consider it would be reasonable to refuse the application on grounds of the proposed materials. The details proposed in relation to the dwellings are considered acceptable and in keeping with surrounding development.

It is therefore considered that the appearance of the development would be respectful of the location.

4.2.3 Landscaping

“Landscaping” in relation to a site or any part of a site for which outline planning permission has been granted to, as the case may be, in respect of which an application for such permission has been made, means the treatment of land (other than buildings) for the purpose of enhancing or protecting the amenities of the site and the area in which it is situated and includes:

- (a) screening by fences, walls or other means;
- (b) the planting of trees hedges, shrubs or grass;
- (c) the formation of banks, terraces or other earthworks;
- (d) the layout out or provision of gardens, courts, squares, water features, sculpture or public art; and
- (e) the provision of other amenity features.

Local Development Plan Policy RD 1 test (i) requires due regard to issues of siting, layout, form, character, design, materials, aspect, microclimate and intensity of use of land / buildings and spaces between buildings, which are matters relevant to the visual impact of development; test (vi) requires that development does not unacceptably affect prominent public views into, out of, or across any settlement or area of open countryside; test (vi) requires the incorporation of existing landscape or other features, takes account of site contours, and changes in levels and prominent skylines; and test (xiii) requires the incorporation of suitable landscaping measures to protect and enhance development in its local context.

The Community Council and private individuals have not raised comments with respect to the landscaping. The AONB Advisory Committee have commented on the proposed hard landscaping and consider the retaining walls should be stone facing to match the existing wall along the road frontage.

A Tree Protection Plan and Tree Condition Survey were approved at outline stage and conditions were imposed to ensure all trees and hedges to be retained as part of the development are safeguarded during construction. The proposed site plan submitted with the current reserved matters application shows existing trees to be retained and the Landscaping Statement confirms measures to be put in place to safeguard trees.

The existing boundary along the road frontage will be retained as existing. The new retaining wall will be block and render with concrete coping. Hard surfacing will be tarmac on paths and the driveway, and flags to patio areas around the house.

Notwithstanding the comments of the AONB Advisory Committee, Officers consider the proposed finish to the retaining wall would be acceptable given that the site is located within the development boundary and that a number of dwellings in the

locality of the site have rendered boundary walls rather than stone.

All hard and soft landscaping details proposed are considered acceptable and appropriate for the area to soften the visual appearance of the development, to protect the amenities of existing residents and provide a sufficient level of amenity for future occupants of the dwellings proposed.

It is therefore considered that the landscaping of the development would be respectful of the location.

4.2.4 Layout

“Layout” means the way in which buildings, routes and open spaces within the development are provided, situated and orientated in relation to each other and to building and spaces outside the development.

Local Development Plan Policy RD 1 test (i) requires due regard to issues of siting, layout, form, character, design, materials, aspect, microclimate and intensity of use of land / buildings and spaces between buildings, which are matters relevant to the visual impact of development; test (vi) requires that development does not unacceptably affect prominent public views into, out of, or across any settlement or area of open countryside; test (vii) requires the incorporation of existing landscape or other features, takes account of site contours, and changes in levels and prominent skylines; and test (xiii) requires the incorporation of suitable landscaping measures to protect and enhance development in its local context.

The Community Council and private individuals have raised concerns regarding the proposed parking and turning space and the drainage arrangements. The parking and turning area does form part of the consideration of layout, and therefore this is considered in this section, and in section 4.2.6 below.

With respect to parking and turning, private individuals have raised concerns that the site does not make adequate provision for larger vehicles, such as construction and delivery vehicles to park and turn within the site.

The site area of the proposed residential development is approximately 0.13ha which equates to approximately 10 dwellings per hectare. The 35 dwellings per hectare referred to in Policy RD 1 is a minimum and there is no maximum suggested. However, the outline consent was for a single dwelling, and having regard to the topography of the site and the density of existing housing within Llanbedr DC, the density is considered to be acceptable in this instance.

The dwelling proposed exceeds the minimum floorspace standards contained within SPG guidance and a private rear garden space in excess of 40 square metres is provided, in compliance with SPG guidance.

In relation to spacing and separation distances in between proposed dwellings and existing dwellings, the development proposals meet or exceed the standards set out within SPG guidance.

The layout of the site has been carefully considered in the context of surrounding development and the dwelling has been sited in a way to respect the pattern of development in the area.

With respect to the parking and turning area, the proposal includes a carport with further parking and turning space in front.

Highways Officers are satisfied proposed parking and turning arrangements are acceptable, and have raised no objection to the proposed layout.

Officers consider the proposed layout makes adequate provision for the parking and turning of domestic vehicles, and notwithstanding concerns raised by private individuals, Officers consider that, having regard to the nature and scale of the development, it would be unreasonable to refuse to approve the layout details at this stage due to the fact that the layout does not make provision for the parking and turning of construction and delivery vehicles.

It is therefore considered that the layout of the development would be respectful of the location.

4.2.5 Scale

“Scale” means the height, width and length of each building proposed within the development in relation to its surroundings.

Local Development Plan Policy RD 1 test (i) requires due regard to issues of siting, layout, form, character, design, materials, aspect, microclimate and intensity of use of land / buildings and spaces between buildings, which are matters relevant to the visual impact of development; test (vi) requires that development does not unacceptably affect prominent public views into, out of, or across any settlement or area of open countryside; test (vi) requires the incorporation of existing landscape or other features, takes account of site contours, and changes in levels and prominent skylines; and test (xiii) requires the incorporation of suitable landscaping measures to protect and enhance development in its local context.

No comments have been received with respect to scale.

The footprint of the dwelling proposed is similar to that shown on the indicative plan submitted at outline scale.

In relation to surrounding development, overall it is considered that the submitted detail demonstrates an acceptable scale of development which in Officers' view is in keeping with the area.

It is therefore considered that the scale of the development would be respectful of the location.

4.2.6 Parking and turning area details (approval of condition 7)

Local Development Plan Policy RD 1 tests (vii) and (viii) oblige provision of safe and convenient access for a range of users, together with adequate parking, services and manoeuvring space; and consideration of the impact of development on the local highway network. Policy ASA 3 requires adequate parking spaces for cars and bicycles in connection with development proposals, and outlines considerations to be given to factors relevant to the application of standards. These policies reflect general principles set out in Planning Policy Wales (Section 8) and TAN 18 – Transport, in support of sustainable development.

It is to be noted that access was approved at outline stage. Highways Officers raised no objection to the outline application and were satisfied that adequate parking and turning space could be achieved. Condition 7 was attached to the permission to ensure final parking and turning arrangements were submitted for approval prior to the development first coming into use. No conditions were imposed with respect to construction phase or to control construction traffic.

Whilst the parking and turning area currently proposed differs from the indicative arrangements shown on the proposed site plan at outline stage, the provision of a double carport with further parking space to the front, and turning space within the existing driveway is considered acceptable and would meet the Council's Parking Requirements in New Developments SPG, and ensure cars exiting the site can do so in forward gear rather than reversing on to the highway. Accordingly, Highway Officers have raised no objection to the proposed parking and turning area.

Private individuals responding to the application have queried the use of the word 'vehicles' in condition 7. Officers' interpretation is that the condition relates to arrangements for the safe access and manoeuvring of cars associated with Cae Glas and the development site, and not larger vehicles.

Highways Officers are satisfied proposed parking and turning arrangements are acceptable, and have raised no objection to the proposed layout, or to the discharge of condition 7.

Highway Officers have provided advice with respect to concerns raised in public representations and have suggested in relation to the construction traffic that it is not normal practice to include conditions requiring submission of a construction management plan in relation to small scale developments for single dwellings. It is the responsibility of a contractor to manage a site safely which would include using appropriately sized construction vehicles having regard to the nature of the site and surrounding highway network - which is not a unique situation in developing sites in rural locations in the County.

The agent has confirmed the dwelling would be powered by heat pumps rather than oil central heating and therefore oil deliveries would not be required, and the proposed sewage treatment plant would need emptying very infrequently, and that delivery vehicles / lorries would likely reverse on to the driveway and park on the dedicated parking and turning area.

Officers accept that Lon Cae Glas is a narrow lane, and that large vehicles may need to reverse up the driveway to access the site rather than being able to turn within the site, however Officers would note that this is the case with a number of dwellings in Llanbedr DC and indeed across the County as very few dwellings have sufficient areas of hardstanding within the curtilage to enable lorries to turn within a site. So whilst accepting condition 7 does require details of parking and turning of vehicles and does not just specify cars only, Officers nevertheless consider the condition seeks to control details of typical domestic vehicles that would access and egress the site on a regular basis, and not every scale of vehicle that could conceivably visit the site at some point.

Notwithstanding the views of private individuals on the application, having regard to the nature and scale of the development and the professional opinion of Highways Officers, the parking is considered to be acceptable with sufficient turning space provided within the site for the access and manoeuvring of typical domestic vehicles. On this basis, Officers consider it would be wholly unreasonable to refuse to approve the condition purely on the basis that insufficient turning space has been provided within the site for larger vehicles such as HGVs or delivery trucks which may very infrequently visit the site once the development first comes into use. Officers therefore consider the details submitted are sufficient to approve and discharge condition 7.

4.2.7 Drainage details (approval of condition 11)

Local Development Plan Policy RD 1 test (xi) requires that development satisfies physical or natural environmental considerations relating to drainage and liability to flooding. Planning Policy Wales 3.1.4 confirms that factors to be taken into account in making planning decisions (material considerations) must be planning matters; that is, they must be relevant to the regulation of the development and use of land in the public interest, towards the goal of sustainability. The drainage / flooding impacts of a development proposal are a material consideration

The outline planning permission established the principle of a septic tank as a suitable mode of foul water drainage. The outline planning application form indicated surface water would be dealt with by soakaways, and the proposed site plan approved at outline stage showed an indicative location of the septic tank and soakaways.

However, as full drainage details were not provided at outline stage, condition 11 was imposed which required a fully detailed scheme of foul drainage and surface water drainage to be submitted and approved in writing by the local planning authority prior to the commencement of development.

Natural Resources Wales raised no objection to the application at outline stage, and as they did not request the drainage condition was imposed, they have declined to comment on the approval of condition 11.

Private individuals have raised concerns regarding the proposed drainage, as the site is on sloping ground and proposed package treatment plant would be at a higher ground level to the house to the west, and therefore question whether the proposed foul water drainage is workable, and if it would result in contaminated water affecting neighbouring properties. Concern has also been raised regarding the height of the water table, and that percolation tests have been carried out during one of the driest periods and therefore may not be reflective of "normal" conditions.

A new private sewage treatment plant is proposed for the site which would discharge to a watercourse (stream) which runs through the site, and surface water is proposed to discharge to soakaway. Percolation test results have been submitted to demonstrate the ground conditions are acceptable and an appropriate means of surface water disposal.

Details of the proposed sewage treatment plant were submitted with the application, and additional information has been provided which confirms the outlet from the sewage treatment plant will discharge via a gravity piped system to the watercourse passing through the development site and that the water from the sewage treatment plant will be clean treated water and acceptable for discharge into the existing water course, and therefore there is no risk of contamination from the sewage treatment plant to any neighbouring properties.

The detailing of sewage treatment plants are subject to approval / registration processes outside land use planning controls, which provide additional safeguards as to their acceptability:

- Private sewage treatment / disposal facilities must be installed and maintained in accordance with British Standard 6297 and Approved Document H of the Building Regulations. The supporting information submitted with the application confirms the proposed sewage treatment plant is compliant with BS 6297 and it will require periodic emptying.
- It is a legal requirement for all septic tanks or package sewage treatment plants discharging to a stream to be registered with Natural Resources Wales (NRW). At outline stage, NRW also advised that a Permit or Exemption from NRW would also be required to discharge anything apart from uncontaminated surface water to a watercourse / ditch and that any necessary Permit must be obtained prior to works starting on site.

In conclusion, Officers consider there are no reasonable grounds to resist the proposals for the drainage detailing.

Other matters

Well – being of Future Generations (Wales) Act 2015

The Well-being of Future Generations (Wales) Act 2015 imposes a duty on the Council not only to carry out sustainable development, but also to take reasonable steps in exercising its functions to meet its sustainable development (or well-being) objectives. The Act sets a requirement to demonstrate in relation to each application determined, how the development complies with the Act.

The report on this application has been drafted with regard to the Council's duty and the "sustainable development principle", as set out in the 2015 Act. The

recommendation takes account of the requirement to ensure that present needs are met without compromising the ability of future generations to meet their own needs. It is therefore considered that there would be no significant or unacceptable impact upon the achievement of well-being objectives as a result of the proposed recommendation.

5. SUMMARY AND CONCLUSIONS:

5.1 The access, appearance, landscaping, layout and scale of the dwellings are considered acceptable.

5.2 Notwithstanding concerns raised by the Community Council and private individuals, Officers are satisfied the parking and turning area, and proposed drainage arrangements are acceptable.

Officers therefore recommend the reserved matters and condition 7 and 11 are approved.

RECOMMENDATION: APPROVE- subject to the following conditions:-

1. The development hereby permitted shall be carried out in strict accordance with details shown on the following submitted plans and documents unless specified as otherwise within any other condition pursuant to this permission
 - (i) Survey Plan (Drawing No. 1) - Received 5 July 2018
 - (ii) General Landscaping and External Works Details (Drawing No. 5) - Received 5 July 2018
 - (iii) Proposed Site Plan (Drawing No. 4) - Received 5 July 2018
 - (iv) Proposed Floor Plan (Drawing No. 2) - Received 5 July 2018
 - (v) Proposed Elevations (Drawing No. 3) - Received 5 July 2018
 - (vi) Carport Details (Drawing No. 6) - Received 5 July 2018
 - (vii) Location Plan - Received 5 July 2018
 - (viii) Proposed Sewage Treatment Plant Product Specification - Received 13 July 2018
 - (ix) Proposed soakaway percolation test results (Drawing No. PM/0762) - Received 12 September 2018
 - (x) Proposed foul water drainage site plan (Drawing No. 4) - Received 12 September 2018

The reasons for the conditions are:-

1. For the avoidance of doubt and to ensure a satisfactory standard of development.